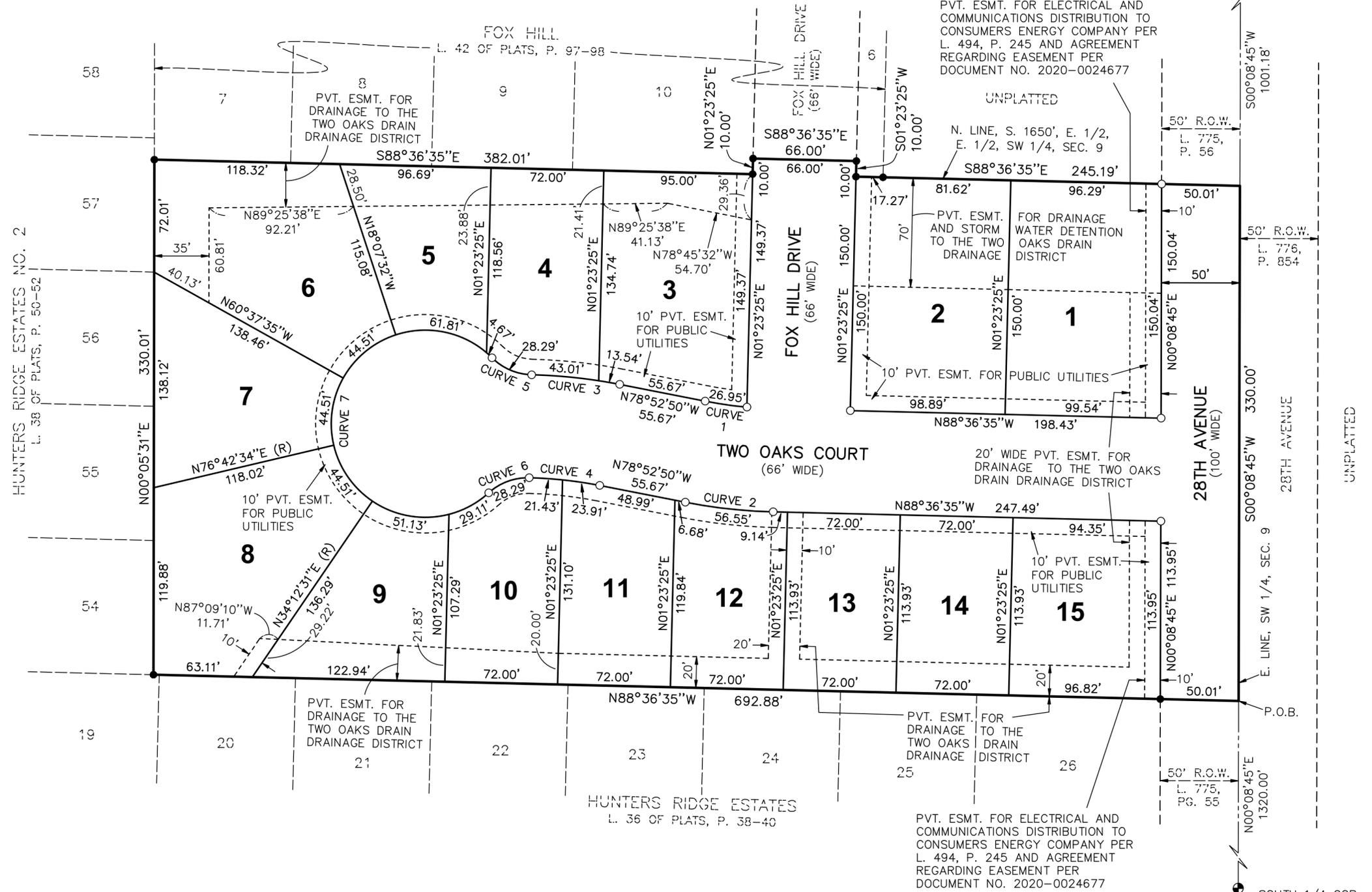
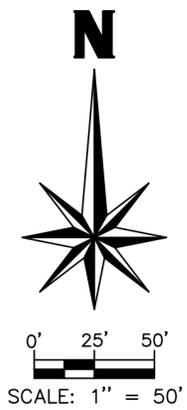
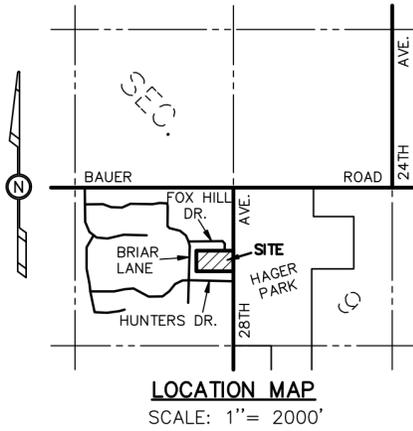


TWO OAKS

PART OF THE SW 1/4, SECTION 9, T6N, R13W,
GEORGETOWN TOWNSHIP, OTTAWA COUNTY, MICHIGAN

SHEET 1 OF 2

WEST 1/4 COR. SEC. 9, T6N, R13W
LCRC NO. 2018-0042814
S88°53'10"E 2776.37'
CENTER SEC. 9, T6N, R13W
LCRC NO. 2018-0042816



LOTS 1 AND 15 SHALL NOT BE ALLOWED
DRIVEWAY ACCESS TO 28TH AVENUE

RESTRICTION NOTE
THIS PLAT IS SUBJECT TO RESTRICTIONS AS REQUIRED BY ACT 288 OF 1967, AS AMENDED, ON CERTAIN LOTS WITH RESPECT TO THE REQUIREMENTS OF THE OTTAWA COUNTY WATER RESOURCES COMMISSIONER WHICH ARE RECORDED IN DOCUMENT NUMBER _____ OF RECORDS OF THIS COUNTY.

CURVE TABLE					
CURVE NO.	DELTA ANGLE	RADIUS	LENGTH	BEARING	CHORD
1	05°46'59"	267.00'	26.95'	N81°46'19"W	26.94'
2	09°43'45"	333.00'	56.55'	N83°44'42"W	56.48'
3	09°43'45"	333.00'	56.55'	N83°44'42"W	56.48'
4	09°43'45"	267.00'	45.34'	N83°44'42"W	45.28'
5	43°48'33"	37.00'	28.29'	N66°42'19"W	27.61'
6	43°48'33"	37.00'	28.29'	N69°29'09"E	27.61'
7	267°37'06"	60.00'	280.25'	N01°23'25"E	86.60'

LEGEND
ALL DIMENSIONS ARE IN FEET.
CURVILINEAR MEASUREMENTS ARE ARC MEASUREMENTS.
PLAT BEARINGS ARE BASED ON CEDAR LAKE ESTATES AS RECORDED IN LIBER 24 OF PLATS, PAGES 52-53.
○ = SET MONUMENT WITH A 1/2" DIAMETER STEEL BAR, 36" LONG, ENCASED IN 4" DIAMETER CONCRETE.
ALL LOT CORNERS ARE MARKED BY 1/2" DIAMETER STEEL BARS, 18" IN LENGTH WITH SURVEY CAP MARKED EXXEL 50433.
R = RADIAL. LINES NOT MARKED ARE NON-RADIAL.
● = FOUND MONUMENT WITH A 1/2" DIAMETER STEEL BAR, ENCASED IN 4" DIAMETER CONCRETE.
DOC. = DOCUMENT NUMBER

SOUTH 1/4 COR. SEC. 9, T6N, R13W
LCRC NO. 2018-0042785

TWO OAKS

PART OF THE SW 1/4, SECTION 9, T6N, R13W,
GEORGETOWN TOWNSHIP, OTTAWA COUNTY, MICHIGAN
SHEET 2 OF 2

SURVEYOR'S CERTIFICATE

I, BRENT MICHAEL FEYEN, SURVEYOR, CERTIFY: THAT I HAVE SURVEYED, DIVIDED AND MAPPED THE LAND SHOWN ON THIS PLAT, DESCRIBED AS FOLLOWS: **TWO OAKS**, PART OF THE SW 1/4 OF SECTION 9, T6N, R13W, GEORGETOWN TOWNSHIP, OTTAWA COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE SOUTH 1/4 CORNER OF SAID SECTION 9; THENCE N00°08'45"E 1320.00 FEET ALONG THE EAST LINE OF SAID SW 1/4 TO THE POINT OF BEGINNING; THENCE N88°36'35"W 692.88 FEET ALONG THE NORTH LINE OF HUNTERS RIDGE ESTATES (AS RECORDED IN LIBER 36 OF PLATS, PAGES 38-40) TO THE EAST LINE OF HUNTERS RIDGE ESTATES NO. 2 (AS RECORDED IN LIBER 38 OF PLATS, PAGES 50-52); THENCE N00°05'31"E 330.01 FEET ALONG SAID EAST LINE TO THE SOUTH LINE OF FOX HILL (AS RECORDED IN LIBER 42 OF PLATS, PAGES 97-98); THENCE S88°36'35"E 382.01 FEET; THENCE N01°23'25"E 10.00 FEET; THENCE S88°36'35"E 66.00 FEET; THENCE S01°23'25"W 10.00 FEET (THE PREVIOUS 4 CALLS BEING ALONG SAID SOUTH LINE OF FOX HILL); THENCE S88°36'35"E 245.19 FEET ALONG THE NORTH LINE OF THE SOUTH 1650.00 FEET OF THE EAST 1/2 OF THE EAST 1/2 OF SAID SW 1/4 AND THE SOUTH LINE OF FOX HILL AND ITS EASTERLY EXTENSION TO THE EAST LINE OF SAID SW 1/4; THENCE S00°08'45"W 330.00 FEET ALONG SAID EAST LINE TO THE PLACE OF BEGINNING.

CONTAINS 15 LOTS AND 5.264 ACRES.

THAT I HAVE MADE SUCH SURVEY, LAND DIVISION AND PLAT BY THE DIRECTION OF THE OWNERS OF SUCH LAND. THAT SUCH PLAT IS A CORRECT REPRESENTATION OF ALL THE EXTERIOR BOUNDARIES OF THE LAND SURVEYED AND THE SUBDIVISION OF IT. THAT THE REQUIRED MONUMENTS AND LOT MARKERS HAVE BEEN LOCATED IN THE GROUND OR THAT SURETY HAS BEEN DEPOSITED WITH THE MUNICIPALITY AS REQUIRED BY THE ACT. THAT THE ACCURACY OF THE SURVEY IS WITHIN THE LIMITS REQUIRED BY THE ACT. THAT THE BEARINGS SHOWN ON THE PLAT ARE EXPRESSED AS REQUIRED BY THE ACT AND AS EXPLAINED IN THE LEGEND.

_____, 2020.

EXXEL ENGINEERING, INC.
5252 CLYDE PARK, S.W.
GRAND RAPIDS, MI 49509-9724

BRENT M. FEYEN, VICE PRESIDENT
PROFESSIONAL SURVEYOR NO. 55904



PROPRIETOR'S CERTIFICATE

B.A.T. DEVELOPMENT GROUP, LLC, 6601 WILSHERE DRIVE, JENISON, MI 49428, A LIMITED LIABILITY COMPANY, DULY ORGANIZED AND EXISTING UNDER THE LAWS OF THE STATE OF MICHIGAN BY TODD PONSTEIN, MANAGING MEMBER, AS PROPRIETOR, HAS CAUSED THE LAND DESCRIBED IN THIS PLAT TO BE SURVEYED, DIVIDED, MAPPED AND DEDICATED AS REPRESENTED ON THIS PLAT AND THAT THE STREETS ARE FOR THE USE OF THE PUBLIC; THAT THE PUBLIC UTILITY EASEMENTS ARE PRIVATE EASEMENTS AND THAT ALL OTHER EASEMENTS ARE FOR THE USES SHOWN ON THE PLAT; AND THAT LOTS 1 AND 15 SHALL NOT BE ALLOWED DRIVEWAY ACCESS TO 28TH AVENUE.

B.A.T. DEVELOPMENT GROUP, LLC
6601 WILSHERE DRIVE
JENISON, MI 49428

STATE OF MICHIGAN FILE NO. F2215N
FILED ON JULY 31, 2017

TODD PONSTEIN, MANAGING MEMBER

ACKNOWLEDGMENT

STATE OF MICHIGAN
COUNTY OF KENT

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2020, BY TODD PONSTEIN, MANAGING MEMBER OF B.A.T. DEVELOPMENT GROUP, LLC, A MICHIGAN LIMITED LIABILITY COMPANY, ON BEHALF OF THE LIMITED LIABILITY COMPANY.

JAMES A. SWANSON
NOTARY PUBLIC, KENT COUNTY, MICHIGAN
MY COMMISSION EXPIRES: 01/09/2027

RECORDING CERTIFICATE

STATE OF MICHIGAN
OTTAWA COUNTY

THIS PLAT WAS RECEIVED FOR RECORD ON THE _____ DAY OF _____, 20____, AT _____ M. AND RECORDED IN DOCUMENT NUMBER _____.

JUSTIN F. ROEBUCK, REGISTER OF DEEDS

COUNTY TREASURER'S CERTIFICATE

THE RECORDS IN MY OFFICE SHOW NO UNPAID TAXES OR SPECIAL ASSESSMENTS FOR THE 5 YEARS PRECEDING _____, 2020, INVOLVING THE LANDS INCLUDED IN THIS PLAT.

AMANDA PRICE, COUNTY TREASURER
OTTAWA COUNTY

COUNTY DRAIN COMMISSIONER'S CERTIFICATE

APPROVED ON _____, 2020, AS COMPLYING WITH 1967 PA 288, MCL 560.192 AND THE APPLICABLE RULES AND REGULATIONS PUBLISHED BY MY OFFICE IN THE COUNTY OF OTTAWA

JOE BUSH, WATER RESOURCES COMMISSIONER

DATE: _____

COUNTY ROAD COMMISSION CERTIFICATE

APPROVED ON _____, 2020, AS COMPLYING WITH 1967 PA 288, MCL 560.183 AND THE APPLICABLE PUBLISHED RULES AND REGULATIONS OF THE BOARD OF COUNTY ROAD COMMISSIONERS OF OTTAWA COUNTY.

BETTY GAJEWSKI, CHAIRMAN

JAMES MIEDEMA, VICE CHAIRMAN

THOMAS E. BIRD, MEMBER

THOMAS J. ELHART, MEMBER

TIMOTHY GRIFHORST, MEMBER

DATE: _____

MUNICIPAL CERTIFICATE

I CERTIFY THAT THIS PLAT WAS APPROVED BY THE TOWNSHIP BOARD OF THE TOWNSHIP OF GEORGETOWN, AT A MEETING HELD _____, 2020, AND WAS REVIEWED AND FOUND TO BE IN COMPLIANCE WITH 1967 PA 288, MCL 560.101 TO 560.293. THE TOWNSHIP DOES HAVE THE PROPERLY ADOPTED ZONING AND SUBDIVISION CONTROL ORDINANCES WITH REFERENCE TO SECTION 148(4) AND 186 OF 1967 PA 288, AND THE TOWNSHIP WAIVES THE MINIMUM LOT SIZE REQUIREMENTS. PUBLIC SEWER SERVICES AND PUBLIC WATER SERVICES HAVE BEEN INSTALLED AND ARE READY FOR CONNECTION. SURETY FOR THE INSTALLATION OF LOT CORNERS AND MONUMENTS HAS BEEN POSTED AND EXPIRES WITHIN ONE YEAR OF THE ABOVE DATE.

RICHARD VANDERKLOK, CLERK

DATE: _____

COUNTY PLAT BOARD CERTIFICATE

THIS PLAT HAS BEEN REVIEWED AND IS APPROVED BY THE OTTAWA COUNTY PLAT BOARD ON _____, 2020, AS BEING IN COMPLIANCE WITH ALL OF THE PROVISIONS OF 1967 PA 288, MCL 560.101 TO 560.293, AND THIS PLAT BOARD'S APPLICABLE RULES AND REGULATIONS.

JUSTIN F. ROEBUCK, COUNTY CLERK / REGISTER OF DEEDS

ROGER A. BERGMAN, COUNTY COMMISSIONER

AMANDA PRICE, COUNTY TREASURER