

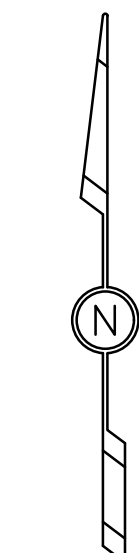
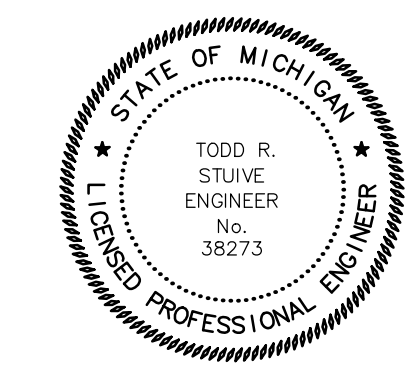
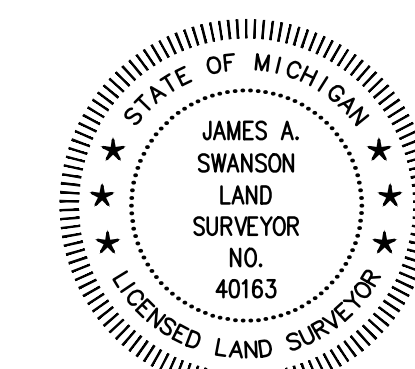
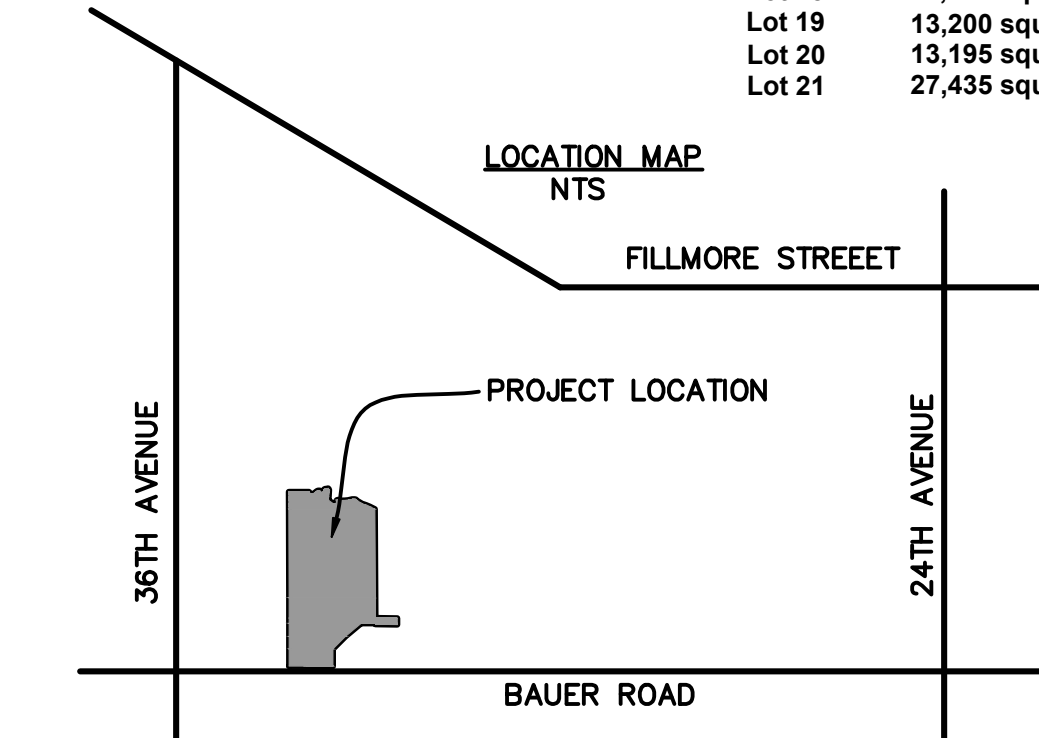
OVERALL DESCRIPTION: (PP# 70-14-08-200-067)
 PART OF NORTHEAST 1/4 COM S88°54'36"W 666.73 FEET & N01°41'10"W 440.6 FEET FROM EAST 1/4 CORNER, THENCE CONT N01°41'10"W 9.4 FEET, S88°54'36"W 136 FEET, S48°32'59"W 189.92 FEET, S43°06'46"W 163.2 FEET, S01°41'10"E 160 FEET, THENCE S88°54'36"W 403.16 FEET ALONG NORTH R/W LINE BAUER ROAD, THENCE N01°44'18"E 1612 FEET, THENCE N88°54'36"E 240 FEET M/L TO CENTER LINE OF CREEK, THENCE SOUTHEAST 600 FEET M/L ALONG SD CENTER LINE TO EAST LINE OF WEST 1/2 OF EAST 1/2 OF NORTHEAST 1/4, THENCE S01°41'10"E 1008 FEET M/L ALONG SD EAST LINE TO POINT N01°41'10"W 500.03 FEET FROM E&W 1/4 LINE, THENCE N88°54'36"E 200.01 FEET, S01°41'10"E 59.43 FEET, THENCE S88°54'36"W 200.01 FEET TO BEG. SEC 8 T6N R13W 25.8 AC M/L

PROPERTY DESCRIPTION PHASE 1:
 PART OF THE NE 1/4 OF SECTION 8, T6N, R13W, GEORGETOWN TOWNSHIP, OTTAWA COUNTY, MICHIGAN, DESCRIBED AS BEGINNING S 88D 54M 36S W 666.73 FT & N 01D 41M 10S W 440.6 FEET FROM THE EAST 1/4 CORNER OF SAID SECTION; THENCE CONTINUING N 01D 41M 10S W 9.4 FEET; THENCE S 88D 54M 36S W 136 FEET; THENCE S 48D 32M 59S W 189.92 FEET; THENCE S 43D 06M 46S W 163.2 FEET; THENCE S 01D 41M 10E 160 FEET; THENCE S 88D 54M 36S W 403.16 FEET ALONG THE NORTH ROW OF BAUER ROAD; THENCE N 01D 44M 18S W 733.0 FEET; THENCE EAST 150.0 FEET; THENCE NORTH 52.1 FEET; THENCE EAST 218.5 FEET; THENCE NORTHEASTERLY 461 FEET TO THE EAST LINE OF THE WEST 1/2 OF THE EAST 1/2 OF THE NORTHEAST 1/4; THENCE S 01D 41M 10S E 504.2 FEET ALONG SAID EAST LINE TO A POINT WHICH IS N 01D 41M 10S W 500.03 FEET FROM SAID E&W 1/4 LINE; THENCE N 88D 54M 36S E 200.01 FEET; THENCE S 01D 41M 10S E 59.43 FEET; THENCE S 88D 54M 36S W 200.01 FEET TO BEGINNING. PARCEL CONTAINS 12.4 ACRES.

- GENERAL NOTES**
- Existing zoning classifications:
"SFR A", Low Density (LDR)
 - This plat is intended for the construction of single family homes.
 - "SFR A" district regulations:
Lot size: 85' x 11,475 s.f.
Front yard: 40' min.
Side yard: 10' min. (20' total)
Rear yard: 40' min.
 - Public utilities:
The front 10' of each lot will be reserved for power and telephone lines (and other approved utilities to service the site).
 - This plat will conform to the Ottawa County Soil Erosion and Sedimentation Control ordinance and the NPDES permit process.
 - Road construction shall conform to the Ottawa County Road Commission standards.
 - This plat is not influenced by a 100 year flood plain.
 - Sidewalks shall be installed per Township ordinance at such time as individual house construction is completed.
 - All adjacent property to this plat is zoned LDR, RR and AG.
 - All drainage easement and detention areas will be conveyed to the Ottawa County Water Resources Commissioner.
 - Storm water detention easement area maintenance:
-Turf / surface area to be maintained by the lot owner.
-Hydraulic function and storm sewer structures to be maintained by the OCWRC through a 433 drain district established for the plat.
 - No permanent project sign is anticipated for this development.
Any temporary signage will be maintained by the developer until lot sales are complete and the sign is removed. (Separate sign permit is required.)

LOT AREA SUMMARY

Phase 1 (Lots 1 - 21, 21 Lots) (12.4 Ac.)			Phase 2 (Lots 22 - 40, 19 Lots) (12.8 Ac.)		
Lot Number:	Total Lot Area:	Buildable Envelope Area:	Lot Number:	Total Lot Area:	Buildable Envelope Area:
Lot 1	46,435 square feet	22,345 square feet	Lot 22	18,150 square feet	7,075 square feet
Lot 2	26,695 square feet	13,140 square feet	Lot 23	13,290 square feet	4,685 square feet
Lot 3	26,070 square feet	14,495 square feet	Lot 24	15,640 square feet	3,760 square feet
Lot 4	24,505 square feet	13,450 square feet	Lot 25	27,650 square feet	6,790 square feet
Lot 5	16,500 square feet	4,200 square feet	Lot 26	26,560 square feet	7,150 square feet
Lot 6	12,750 square feet	4,550 square feet	Lot 27	42,840 square feet	20,575 square feet
Lot 7	12,750 square feet	4,550 square feet	Lot 28	35,645 square feet	19,330 square feet
Lot 8	23,185 square feet	5,480 square feet	Lot 29	32,650 square feet	17,185 square feet
Lot 9	24,020 square feet	8,540 square feet	Lot 30	43,490 square feet	23,980 square feet
Lot 10	34,455 square feet	9,455 square feet	Lot 31	26,400 square feet	13,655 square feet
Lot 11	22,785 square feet	9,635 square feet	Lot 32	29,790 square feet	17,120 square feet
Lot 12	39,330 square feet	12,255 square feet	Lot 33	31,325 square feet	17,840 square feet
Lot 13	17,330 square feet	5,645 square feet	Lot 34	31,405 square feet	16,725 square feet
Lot 14	15,425 square feet	6,420 square feet	Lot 35	31,475 square feet	19,330 square feet
Lot 15	13,085 square feet	4,670 square feet	Lot 36	31,545 square feet	5,690 square feet
Lot 16	16,500 square feet	5,190 square feet	Lot 37	16,500 square feet	4,200 square feet
Lot 17	13,200 square feet	4,760 square feet	Lot 38	13,200 square feet	4,760 square feet
Lot 18	13,200 square feet	4,760 square feet	Lot 39	13,200 square feet	4,760 square feet
Lot 19	13,200 square feet	4,760 square feet	Lot 40	13,200 square feet	4,760 square feet
Lot 20	13,195 square feet	4,760 square feet			
Lot 21	27,435 square feet	5,350 square feet			



SCALE: 1" = 100'
 2' CONTOUR INTERVAL

UTILITY PIPE LEGEND

—	SANITARY SEWER
---	STORM SEWER
—	WATERMAIN
→	DIRECTION OF DRAINAGE FLOW

**PRELIMINARY PLAT
 TIMBER WOODS**

FOR: 3405 PROPERTIES, LLC
 ATTN: PAUL HUIZINGA
 6069 WEST BAY COURT
 HUDSONVILLE, MI 49426

IN: PART OF THE NE 1/4, SECTION 8, T6N, R13W,
 GEORGETOWN TOWNSHIP, OTTAWA COUNTY, MICHIGAN

REVISIONS:

exxel engineering, inc.
 planners · engineers · surveyors
 5252 Clyde Park, S.W. • Grand Rapids, MI 49509
 Phone: (616) 531-3660 www.exxelengineering.com

DRAWN BY: MDW	PROJ. ENG.: TRS	SHEET
APPROVED BY: TRS	PROJ. SURV.: JB	1 of 1
FILE NO.: 182007E	DATE: 11/27/2018	
12/5/2018 REV. PER TWP. STAFF REVIEW		

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