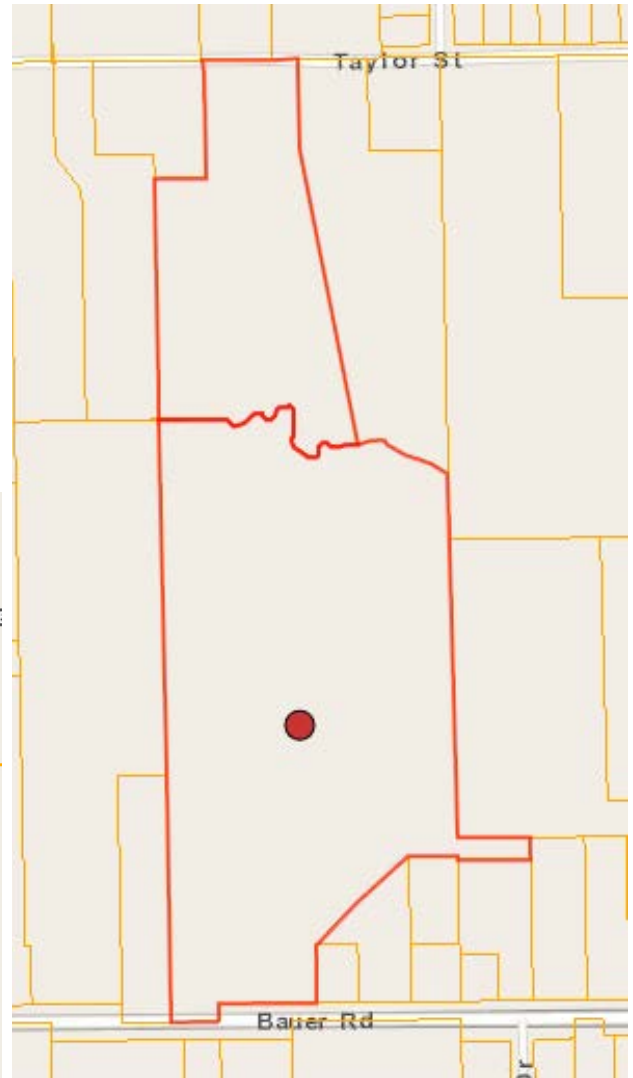
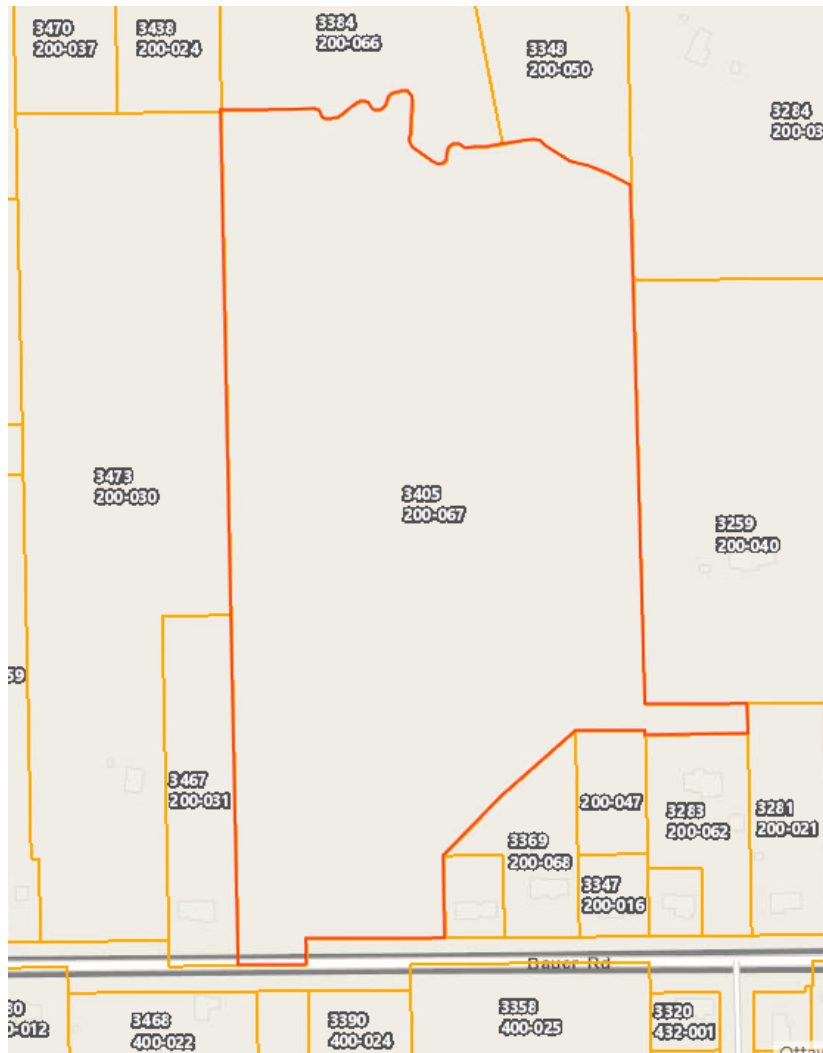


REQUEST

The layout of the **Preliminary Plat of Timber Woods**, P.P. # 70-14-08-200-067, located at 3405 Bauer Rd., zoned LDR, Georgetown Township, Ottawa County, Michigan.

The request is for overall preliminary plat approval of Timber Woods with 21 lots in the first phase and 19 in the second phase, for a total of 40 lots, in a LDR zoning district. The parcel is a about 26 acres and about 0.7 acres of the parcel is proposed to be deeded to the parcel to the north (P.P. # 70-14-08-200-066). As noted on the plan, with the additional property added to the northern parcel, the newly created parcel will meet the width to depth ratio.





SUMMARY

- a. **The triangular piece of property north of Bauer Rd. and west of the Ravenwood Dr. is part of lot 21. The dashed line south of the building envelope on lot 21 denote denotes a drainage easement on the southern portion of the lot.** The developer is proposing to install the sidewalk along the southern portion of lot 21 west of Ravenwood Dr. and along Bauer Rd. adjacent to lot 1. The lots and building envelopes appear to meet ordinance requirements (all will be reviewed for exactness at the time a building permit application is submitted). Many lots are affected by a drainage easement and lots 25, 26 and 27 are affected by a detention basin. These are situations noted to be created by the developer and would be considered to be a self-created situation in case any variance requests are submitted in the future.

The property at the northwest portion of the parcel is excluded from the plat and is proposed to be deeded to P.P. # 70-14-08-200-066. The dimensions were provided showing that the width to depth ratio of the newly created parcel does not exceed the 1 to 4 ratio. At the time an application is submitted to the Township for preliminary plat approval for phase 2, **provide a letter to the assessor signed by both property owners requesting the combination.**

- b. **The plan notes there will be no plat entry sign, only a construction sign which will be removed when construction is complete. No legal instrument detailing responsibility for ownership and maintenance is necessary.**
- c. **Maintenance of the detention basin is detailed on the plan.**
- d. Attached garages with a minimum of 400 square feet shall be provided.

OPTION FOR MOTION

If the Planning Commission determines that the plan complies with Township ordinances, the following motion is recommended.

- Motion:** To adopt the staff report as findings of fact and to recommend to the Township Board to grant tentative preliminary plat approval of the overall Preliminary Plat of Timber Woods and phase 1, P.P. # 70-14-08-200-067, located at 3405 Bauer Rd., zoned LDR, Georgetown Township, Ottawa County, Michigan, as shown on the drawing dated 12/5/18, and with the following conditions:
- a. **Building envelopes appear to meet ordinance requirements, but will be reviewed for exactness at the time a building permit application is submitted. Some lots are affected by a drainage easement or a detention basin and those are situations noted to be created by the developer and would be considered to be a self-created situation in case any variance requests are submitted in the future.**
 - b. **There shall be no plat entry sign on Bauer Rd., as noted on the plan.**
 - c. **Attached garages with a minimum of 400 square feet shall be provided.**
 - d. **Sidewalks will be provided by the individual property owner at the time a house is constructed and the developer will provide a portion of the sidewalk as noted on the plan for lots 1 and 21.**

The following documents compliance with Township ordinances:

ID number		Date	12/12/2018
Name	Timber Woods		
Address			
Use	Preliminary Plat	SUP required	NA

REQUIREMENT	PROVIDED	Needs or Comments
Date, north arrow, scale	X	
Name, address of preparer	X	
Name, address of property owner or petitioner	X	
Location sketch	X	
Legal description	X	
Size in acres of the property	X	
Property lines and required setbacks shown and dimensioned	X	a. note
Location of existing structures, drives, parking areas within 100 ft of boundary	X	
Location and dimensions of existing and proposed structures	X	
Location of existing and proposed drives (dimensions and radii), circulation	X	
Sidewalks, non-motorized paths-select streets, accel, decel lanes	X	
Signs, exterior lighting	X	b. sign
Curbing, parking areas, dimensions of typical space, number of parking spaces	X	
Calculations of parking spaces, unloading areas	X	
Location, pavement width, ROW of all abutting roads, easements	X	
Existing zoning, and zoning and use of abutting property	X	
Location of existing vegetation-parkway association	X	c. provided
Location, type, size of proposed landscaping, streetscape, greenbelt	X	
Location, height, type of existing and proposed fences and walls	X	
Size, location of proposed, existing utilities, connections to water/sewer	X	
Location, size of surface water drainage facilities	X	
Existing, proposed topo contours, max 5 ft intervals	X	
Rec/common areas, floodplain areas	X	
Special Use Standards, general and specific	NA	
Residential development extra requirements-attached garages	X	d. required